

The background of the slide is an architectural rendering of a modern, multi-story brick building. The building has a mix of red and light-colored bricks, large windows, and a flat roof. In the foreground, there are trees, a sidewalk, and a few people, including one with a bicycle. The sky is blue with a few birds flying in the upper left corner.

BONUS DENSITY DISCUSSION

***2022 PLANNING COMMISSION
RETREAT***



Policy Questions

- Is there capacity for additional density to be provided through a bonus program?
- What are the issues involved in creating a new density bonus option, other than affordable housing (and in OTN, arts anchors)?

Bonus Density Project Examples

WAYPOINT OF FAIRLINGTON (Seminary Hill / Strawberry Hill)

3800 Block of King Street – DSUP2017-00006



- Use of Section 7-700 affordable housing bonus density
 - Full 30% utilized (0.75 to 0.975 FAR)
- No bonus height used (45 feet total)
- 81 multifamily units – all affordable
- Big lot size made this feasible
- An additional density bonus (beyond 30%) on this project would likely require more height but feasible

Bonus Density Project Examples

THE GRAYSON (Braddock)

1200 Block of N. HENRY STREET – DSUP2020-00001



- Use of Section 7-700 affordable housing bonus density
 - Full 30% utilized (2.5 to 3.25 FAR)
- 15 feet of bonus height used (80 feet total)
- 119 multifamily units, **11** are affordable
- This project is almost maxed out due to wood construction type

Bonus Density Project Examples

THE MUSE (Old Town North)

1200 Block of N. Royal Street – DSUP2017-00025



- Use of Section 6-900 arts anchor bonus density
 - Full 30% utilized (2.5 to 3.25 FAR)
- 12 feet of bonus height used (89 feet total)
- 73 condominium units
- No affordable housing bonus density used
- Concrete construction in this project could allow more bonus density with additional height.

Bonus Density Project Examples

TIDELOCK (Old Town North)

1000-1100 of Block N. Fairfax Street – DSUP2021-10017



- Use of Section 6-900 arts anchor and Section 7-700 affordable housing bonus density
 - Full 30% utilized for both densities (2.5 to 4.0 FAR)
- 29 feet of bonus height utilized (106 feet total) for buildings A and B
- 234 multifamily units, **15** are affordable (including 4 for-sale)
- The market in this neighborhood can support two bonus programs, but construction type places limits.



Lessons from the case studies

- Utilization of bonus density has been limited over the years by market forces (rents, etc), applicant, and zoning.
- Old Town North is our example of 2 bonus density programs:
 - Conditions that resulted in maxing out both densities don't exist citywide. Interaction is not clear cut.
 - Arts bonus program still a work in progress.
 - Unclear what the impact would have been
- To expand bonus density for any use will require more height
- Wood building construction type in many areas of the city will constrain the utility of offering more density and height.



Considerations

- Virginia law – some things localities can require, others have to come with a density bonus.
- We do not want to diminish the effectiveness of the affordable housing density bonus
- Density bonus programs are not easy to set up, administer or calibrate.
- How two or more density bonus programs interact is difficult to predict.